

VILLAGE OF JOHNSON CREEK
MEETING NOTICE
125 Depot Street, Johnson Creek, WI 53038

PLAN COMMISSION
May 15, 2014
Village Hall
125 Depot Street
5:30 p.m.

1. Call to order - Roll Call
2. Statement of Public Notice
3. Approve Minutes of April 17, 2014-*pgs 2-3*
4. Resolution 41-14 Extraterritorial Zoning (ETZA) - ERB Trust – Town of Milford *pgs 4-12*
5. Discussion and Recommendation – Revised Site Plan – Pat Smith – *pgs 13-16*
6. Discussion and Recommendation – Revised Site Plan – Rock River Powersports –*pgs 17-26*
7. Next Meeting – June 19, 2014 – 5:30 p.m.
8. Adjourn

Members: David Armstrong, Nick Ansay, Chad Chapman, Mary Nimm, Greg Schopp, John Swisher and Scott Thomas.

*Page/packet numbers relate to meeting packets distributed to appropriate commission/committee members.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the meeting above to gather information. No action will be taken by any governmental body at the meetings above other than by the governmental body specifically referred to in the above notice.

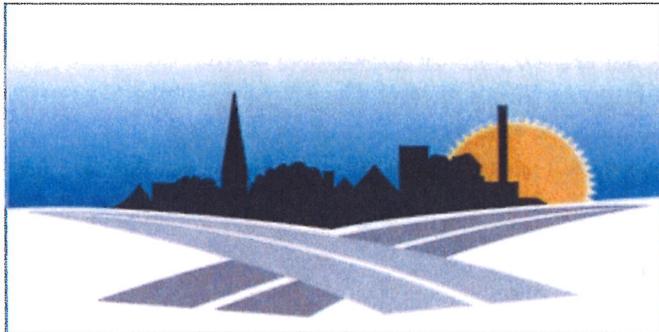
Requests from persons with hearing or sight disabilities who need assistance to participate in this meeting should be made to the Village Clerk's Office at (920) 699-2296 with as much advance notice as possible.

<i>Agenda Posting Information</i>	
Date Posted	
Time	a.m. / p.m.
Initials	

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Village of Johnson Creek

Crossroads With A Future



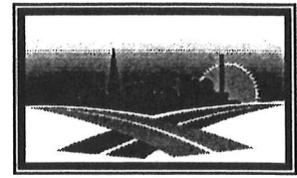
Plan Commission Report

May 15, 2014

Prepared by

Mark Johnsrud

Village Administrator/Zoning Administrator



**PLAN COMMISSION
MINUTES – APRIL 17, 2014**

Greg Schopp called the Plan Commission meeting to order at 5:30 p.m. In attendance: Plan Commissioners Nick Ansay, David Armstrong, Chad Chapman, Carol O’Neil, Greg Schopp, John Swisher and Scott Thomas. Village Trustees in attendance: Tim Semo, Steven Wollin and Kelly Wollschlager. Also in attendance: Village Administrator Mark Johnsrud.

Statement of Public Notice

This meeting has been posted and noticed according to law.

Approve Minutes of March 20, 2014

An O’Neil/Chapman motion carried unanimously to recommend approving the minutes of the March 20, 2014 Plan Commission.

Open Conditional Use Public Hearing

A Thomas/Chapman motion carried on a roll call vote (7-0) to open the public hearing at 5:32 p.m.

Proposed Conditional Use for Gobbler Restaurant, Inc. by Daniel A. Manesis, Manesis & Associates, LLC per Section 250-39(H) requires a conditional use to permit Indoor Commercial Entertainment within Planned Business (PB) Zoning. The property is 9.168 acres, parcel #141-0715-0731-001.

Dan Manesis introduced himself as the developer. The proposed use is to convert the Gobbler to a 400 seat theatre to be used for small bands or comedy acts. Only beer and wine will be served. The building would be used 3 to 4 times per week and would be available for community activity uses.

Dick Schultze complimented the proposed use and encouraged the Plan Commission to approve the conditional use permit.

Close Public Hearing

An O’Neil/Armstrong motion carried unanimously to close the public hearing at 5:55 p.m.

Open Conditional Use Public Hearing

An Ansay/Thomas motion carried to open the public hearing at 5:55 p.m.

Proposed Conditional Use for Adams Rental Investments, LLC/Jon and Laurie Adams per Section 250-37(G) requires a conditional use to permit clear cutting within General Institutional (GI) Zoning for parcel #141-0715-1821-016.

Laurie Adams indicated that the site will be cleared of trees and brush to plant landscape gardens and green space. The trees to be removed are box elder and “scrub” trees.

Close Public Hearing

An Ansay/Armstrong motion carried unanimously to close the public hearing at 5:58 p.m.

Resolution 34-14 Conditional Use Permit – 350 N. Watertown Street – Gobbler

An O’Neil/Chapman motion carried on a roll call vote (7-0) to recommend approving Resolution 34-14 Conditional Use Permit at 350 N. Watertown Street – Gobbler - permitting Indoor Commercial Entertainment within Planned Business (PB) Zoning.

Resolution 35-14 Conditional Use Permit – Adams Rental Investments

An O’Neil/Thomas motion carried on a roll call vote to recommend approving Resolution 35-14 Conditional Use Permit – Adams Rental Investments to permit clear cutting within General Institutional (GI) Zoning for parcel #141-0715-1821-016.

Next Meeting – May 15, 2014 – 5:30 p.m.

Adjourn

An Ansay/O’Neil motion carried to adjourn at 6:01 p.m.

Mark Johnsrud
Village Administrator

Disclaimer: These minutes are uncorrected; any corrections made thereto will be so noted in the proceedings at which these minutes are approved.

RESOLUTION 41-14

EXTRATERRITORIAL SUBDIVISION
ERB TRUST – TOWN OF MILFORD

THE VILLAGE BOARD OF THE VILLAGE OF JOHNSON CREEK, JEFFERSON COUNTY, WISCONSIN, DOES RESOLVE AS FOLLOWS:

WHEREAS, by State Statute the Village has the right to review subdivisions of land within one and one half miles of the Village’s corporate limits,

WHEREAS, it is in the best interest of the Village to review any subdivision of land within our extraterritorial review to ensure that future land use and services are compatible with our Urban Service Area within Johnson Creek’s Comprehensive Plan,

WHEREAS, ERB Trust, the owners of Parcel # 020-0714-0231-001, 020-0714-0231-000, 020-0714-0242-000, and 020-0714-0243-000, W5570 Church Road, Johnson Creek, WI, located in the Town of Milford, and

WHEREAS, the subdivision is to divide the residential improvements from the agricultural lands, and

WHEREAS, all subdivided parcels shall provide for a dedicated easement of forty feet from the centerline along Church Road, and

NOW THEREFORE BE IT RESOLVED, that the Plan Commission recommends to the Board of Trustees of the Village of Johnson Creek Village Board to approve the subdivision of parcel #020-0714-0213-000, #020-0714-0231-001, #020-0714-0242-000 and #020-0714-0243-000 subject to submittal of a Certified Survey Map (CSM) with a forty (40) foot right of way dedicated to the public for road purposes from the centerline of Church Road, and

BE IT FURTHER RESOLVED, that the Village Administrator and the Village Clerk/Treasurer have the authority to effectuate this resolution.

PASSED AND ADOPTED by the Village Board of Trustees this 19th day of May 2014.

Greg Schopp, Village President

ATTEST:

Joan Dykstra Clerk-Treasurer

MAY 2 2014
\$400-

VILLAGE OF JOHNSON CREEK
125 Depot Street, P.O. Box 238, Johnson Creek, WI 53038 (920-699-2296)
**Extraterritorial Subdivision Application
(ETZA)**

RECEIVED
MAY 2 2014

Village Code - Chapter 245-29 requires approval of ETZA (property located within 1.5 miles of the corporate limits of the Village of Johnson Creek) preliminary plats by the Village Board.

The following information and documentation is required to be submitted to the Village Administrator prior to 2:00 p.m. on the first Friday of the month in which you wish Plan Commission consideration. Please include the following information with your completed Extraterritorial Subdivision Application.

- Twenty (20) copies (11" X 17") folded to (8½" X 11") of plat of survey or preliminary CSM prepared by a land surveyor registered in the State of Wisconsin, as applicable, showing all land that is/are under ownership or control of the subdivider, the entire frontage of all parcels that are under the ownership or control of the subdivider that are contiguous to the public right-of-way fronting the parcel(s) to be created and a supplemental area location map. Show the location, elevation, all streets bordering the property, and use of any abutting lands and their structures within 40 feet of the subject site.
- Where the land to be subdivided is located adjacent to the intersection of two town roads, the Village will only require dedication of land for public right-of-way purposes on that portion of the land fronting the road on which the parcel(s) is/are to be created.
- Application Fee \$100.00 per parcel created (Chapter 33 - Fees)
- Payment of Reimbursable Cost Fees (See Appendix A) (Chapter 33 - Fees)
- Provide any additional information as required by the Building Inspector, Plan Commission or Village Board.

Please type this information if possible.

Address of property involved (including township)	W5570 CHURCH RD. Johnson Creek, WI
Parcel number: Number of acres of parent parcel:	020-0714-0231, 0234, 0242 + 0243 115.78
Purpose of subdivision (explain in full, attach page if necessary)	Sell 1 2AC A-3 Residential Lot + 1 A-1 lot mostly woods & Field (Hunting land)
Name of petitioner	Scott Thomas, RLS Holland+Thomas, LLC
Mailing address of petitioner	202 WEST ST. Johnson Creek, WI 53038
Daytime phone number of petitioner	920-699-3305
Name of property owner	J+E ERB TRUST

VILLAGE OF JOHNSON CREEK
 125 Depot Street, P.O. Box 238, Johnson Creek, WI 53038 (920-699-2296)
Extraterritorial Subdivision Application
(ETZA)

Mailing address of property owner	W5570 CHURCH RD. Johnson Creek, WI 53038
Daytime phone number of property owner	920-285-2518
Legal description of property involved	-Can Attach-
Name of Architect, Professional Engineer, or Contractor	Holland + Thomas, LLC
Property is presently used as:	Mostly Farm land + Woods
Type of structure and proposed use of structure or site including number of employees if applicable	1 ZAC Lot for rural res. A-3
How would this land division affect the Village?	Shouldn't
Property is presently zoned as:	A-1

J & E Ent Trust
John J. Ent

 Signature of Owner
 5-1-14

 Date of Signature

John Thomas

 Signature of Petitioner
 4/30/14

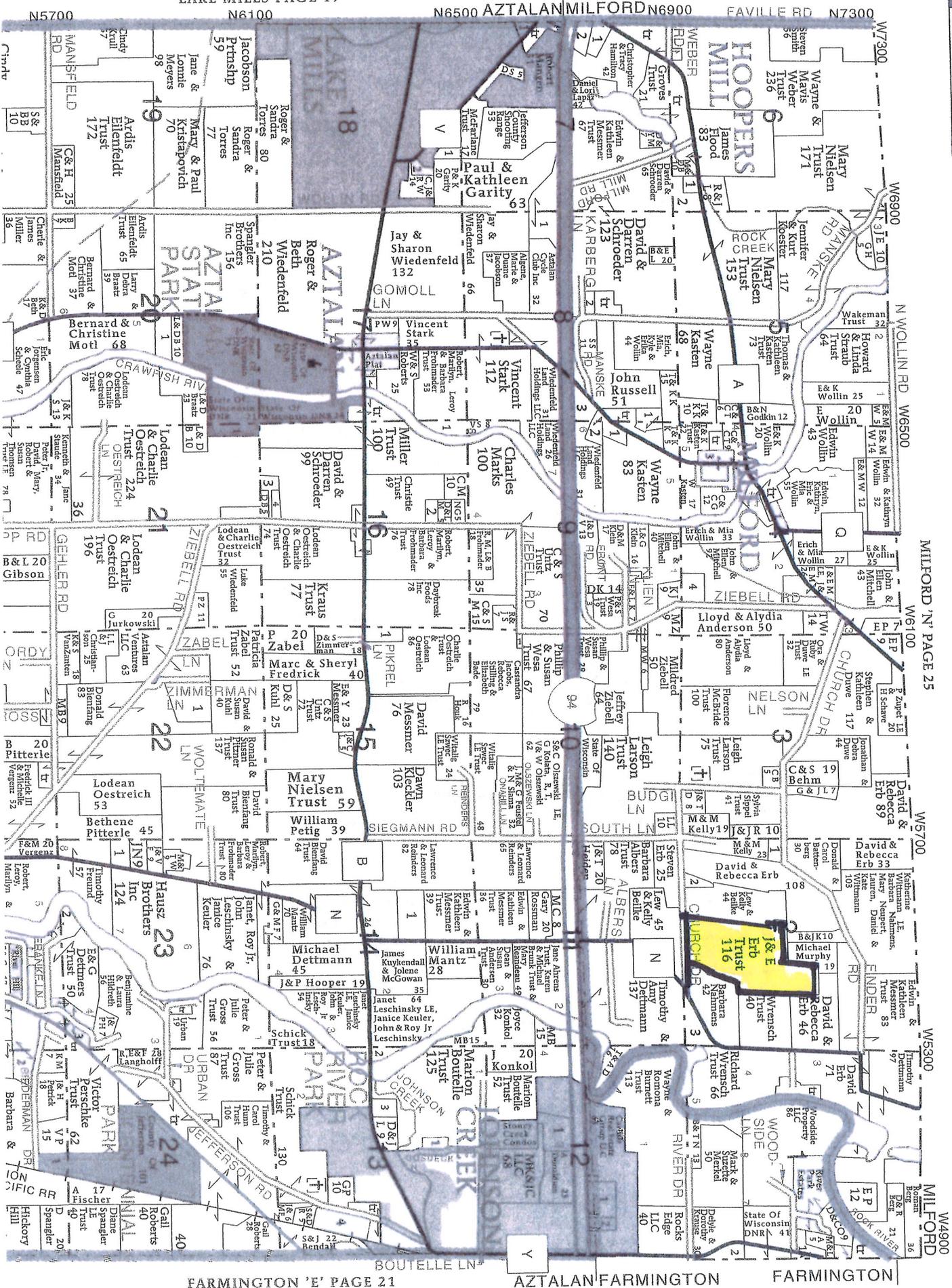
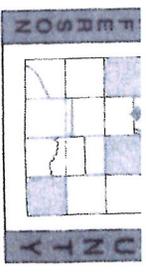
 Date of Signature



© Farm & Home Publishers, Ltd.

T-7-N • R-14-E

See Page 70-79 For Additional Names.



N5700

N6100

N6500 AZTALAN MILFORD N6900

FAVILLE RD N7300

W7300

W6900

N WOLLIN RD W6500

MILFORD 'N' PAGE 25

W6100

W5700

W5300

MILFORD

W4900

MANBFIELD RD

MANBFIELD

FARMINGTON 'E' PAGE 21

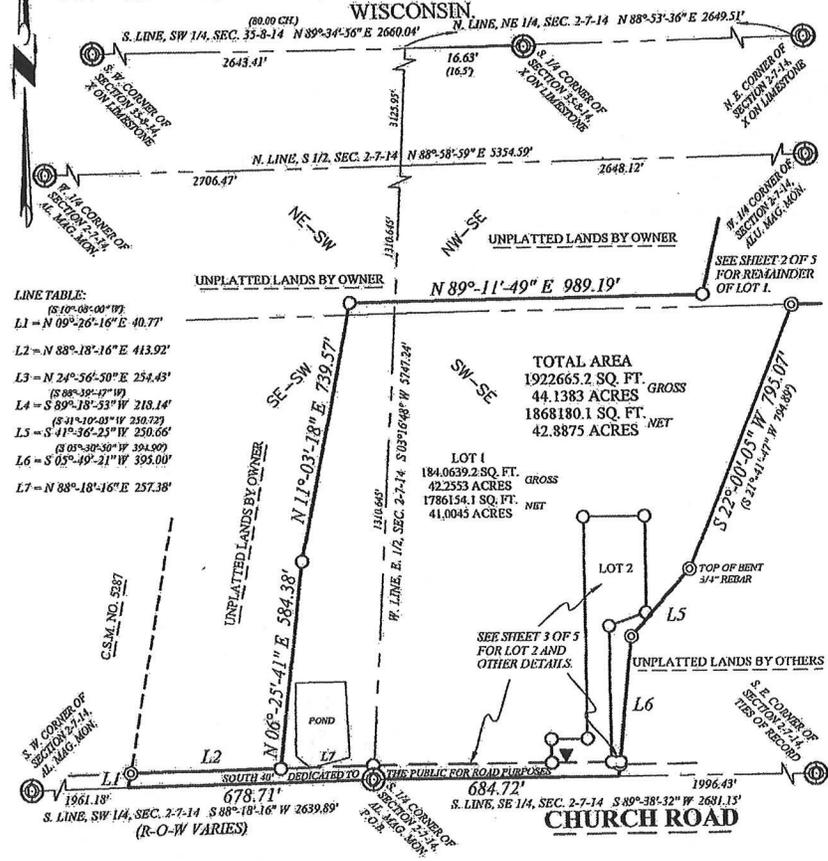
AZTALAN FARMINGTON

FARMINGTON

RECEIVED
MAY 2 2014

CERTIFIED SURVEY MAP No.

BEING PART OF THE NW 1/4 & SW 1/4 OF THE SOUTHEAST QUARTER AND NE 1/4 & SE 1/4 OF THE SOUTHWEST QUARTER OF SECTION 2, TOWN 7 NORTH, RANGE 14 EAST, TOWN OF MILFORD, JEFFERSON COUNTY, WISCONSIN



LEGEND: These standard symbols may be found in the drawing.

- U.S.P.S. Monument (Found) w/desc.
- 18" x 3/4" Diameter Rebar (Set) Weighing at least 1.15 lbs/linear foot.
- 3/4" Dia. Rebar (Found)
- Proposed Access Point
- (") "Recorded As" Information

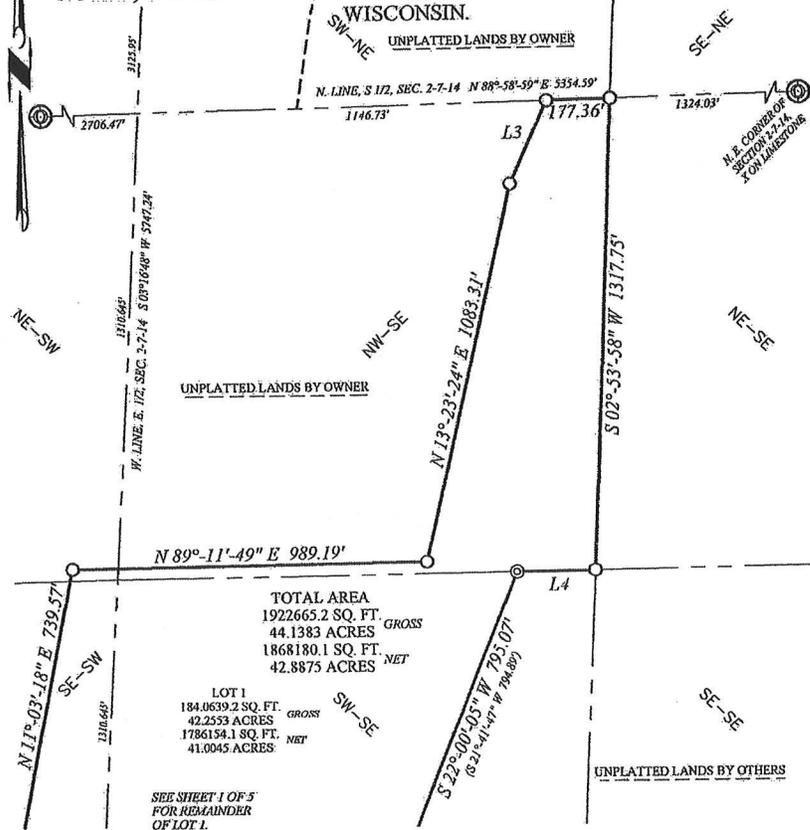
Petition# 3148A-06 Zoning LOT 1: A-1 LOT 2: A-3
Check for subsequent zoning changes with Jefferson County Zoning.
BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 02-07-14, WHICH IS ASSUMED TO BEAR S 88°-18'-18" W.
300' 0 300'

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS
202 West Street Johnson Creek, WI 53038 (920) 699-3305
This Instrument prepared by: Scott D. Thomas, S-2354

Prepared for Owner/Subdivider: J & E Erb Trust, W5570 Church Road, Johnson Creek, WI 53038. SHEET 1 OF 5

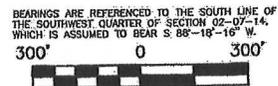
CERTIFIED SURVEY MAP No. _____

BEING PART OF THE NW 1/4 & SW 1/4 OF THE SOUTHEAST QUARTER AND
NE 1/4 & SE 1/4 OF THE SOUTHWEST QUARTER OF SECTION 2, TOWN 7
NORTH, RANGE 14 EAST, TOWN OF MILFORD, JEFFERSON COUNTY,
WISCONSIN.



LEGEND: These standard symbols may be found in the drawing.

- ⊙ U.S.P.S. Monument (Found) w/detic.
- 16" x 3/4" Diameter (Rebar) (Set) Weighing at least 1.13 lbs./linear foot.
- ⊙ 3/4" Dia. Rebar (Found)
- ▼ Proposed Access Point
- ⊕ Soil Boring
- (") "Recorded As" Information



HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

This Instrument prepared by: Scott D. Thomas, S-2354

Prepared for Owner/Subdivider: J & E Erb Trust, W5370 Church Road, Johnson Creek, WI 53038.

SHEET 2 OF 5

CERTIFIED SURVEY MAP No. _____

**BEING PART OF THE NW 1/4 & SW 1/4 OF THE SOUTHEAST QUARTER AND
NE 1/4 & SE 1/4 OF THE SOUTHWEST QUARTER OF SECTION 2, TOWN 7
NORTH, RANGE 14 EAST, TOWN OF MILFORD, JEFFERSON COUNTY,
WISCONSIN.**

SURVEYOR'S CERTIFICATE AND LEGAL DESCRIPTION:

I, SCOTT D. THOMAS, WISCONSIN REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH CHAPTER 236.34 OF WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE TOWN OF MILFORD AND UNDER THE DIRECTION OF J. & E. ERB TRUST, OWNER, I HAVE SURVEYED, DIVIDED, DEDICATED AND MAPPED ALL THAT PART OF THE NORTHWEST QUARTER (NW 1/4) AND SOUTHWEST QUARTER (SW 1/4) OF THE NORTH-EAST QUARTER (NE 1/4), AND NORTHEAST QUARTER (NE 1/4) AND SOUTHEAST QUARTER (SE 1/4) OF THE SOUTH-WEST QUARTER (SW 1/4) OF SECTION 2, TOWN 7 NORTH, RANGE 14 EAST, TOWN OF MILFORD, JEFFERSON COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 2; THENCE SOUTH 88°-18'-16" WEST, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 2, 678.71 FEET; THENCE NORTH 09°-26'-16" EAST, 40.77 FEET TO THE SOUTHEAST CORNER OF CERTIFIED SURVEY MAP NO. 5287; THENCE NORTH 88°-18'-16" EAST, 413.92 FEET; THENCE NORTH 06°-25'-41" EAST, 584.38 FEET; THENCE NORTH 89°-11'-49" EAST, 989.19 FEET; THENCE NORTH 13°-23'-24" EAST, 1083.31 FEET; THENCE NORTH 24°-56'-50" EAST, 284.43 FEET TO THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 2; THENCE NORTH 88°-58'-59" EAST, ALONG SAID NORTH LINE, 177.36 FEET TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 02°-53'-58" WEST, ALONG SAID EAST LINE, 1317.75 FEET TO THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE SOUTH 89°-18'-53" WEST, ALONG SAID SOUTH LINE, 218.14 FEET; THENCE SOUTH 22°-00'-05" WEST, ALONG THE MONUMENTED WEST BOUNDARY OF LANDS DESCRIBED IN DOCUMENT NO. 1143333, 795.07 FEET; THENCE SOUTH 41°-36'-25" WEST, ALONG SAID WEST BOUNDARY, 250.68 FEET; THENCE SOUTH 05°-49'-21" WEST, ALONG SAID WEST BOUNDARY, 395.00 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 2; THENCE NORTH 89°-38'-32" WEST, ALONG SAID SOUTH LINE, 684.72 FEET TO THE POINT OF BEGINNING. DEDICATING THE SOUTH 40.00 FEET OF SAID PARCEL TO THE PUBLIC FOR ROAD PURPOSES.

SAID PARCEL SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS, RECORDED AND UNRECORDED.

SAID PARCEL CONTAINING 1,922,665.2 SQUARE FEET, OR 44.1383 ACRES OF LAND GROSS, AND 1,868,180.1 SQUARE FEET, OR 42.8875 ACRES, OF LAND NET, MORE OR LESS.

SCOTT D. THOMAS - WI REG. NO. 2354
DATED THIS _____ DAY OF _____, 2014.

TRUSTEE OWNER'S CERTIFICATE:

THE J & E ERB TRUST, AS OWNER, HEREBY CERTIFIES THAT IT HAS CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS REPRESENTED HEREON. IT ALSO CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: TOWN BOARD OF MILFORD, THE VILLAGE OF JOHNSON CREEK AND THE JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE.

- TRUSTEE OR P.O.A.

STATE OF WISCONSIN) ss
COUNTY)
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, _____,
TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

MY COMMISSION EXPIRES:
-- NOTARY PUBLIC

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305
This Instrument prepared by: Scott D. Thomas, S-2354

Prepared for Owner/Subdivider: J & E Erb Trust, W5570 Church Road, Johnson Creek, WI 53038.

SHEET 4 OF 5

AGENDA ITEM – PC2014-0515-01

ROUTING:

Village Board 5-19-14

BACKGROUND INFORMATION:

Extraterritorial Subdivision Applications are reviewable by the Village within one and one half miles of the corporate limits of the Village to ensure compliance with the Village Comprehensive Plan.

GENERAL LOCATION:

W5570 Church Road is located northeast of the Village in the Town of Milford. The parcels are located on Church Road.

RECOMMENDATIONS OF OTHER BOARDS AND COMMISSIONS:

N/A

CONSISTENCY WITH ADOPTED COMPREHENSIVE PLAN:

Extraterritorial Subdivision Application review of subdivision of parcels within one and one half miles of the Village corporate limits allows this subdivision request of ERB Trust to be reviewed to ensure consistency with the comprehensive plan.

STAFF ANALYSIS:

ERB Trust is requesting approval of an Extraterritorial Subdivision Application for parcels located at W5570 Church Road. The certified survey map (CSM) provides for an easement dedication for public right of way of forty feet from the centerline of Church Road along all subdivided parcels.

This ETZA is in accordance with the Village Comprehensive Plan and does not provide the property owner any rights to further subdivide the parcels to create additional residential lots per Jefferson County zoning regulations.

AGENDA ITEM – PC2014-0515-02

ROUTING:

Village Board 5-19-14

BACKGROUND INFORMATION:

The Plan Commission and Village Board approved a site plan for Pat Smith's development of a restaurant at 385 Wright Road by Resolution 9-14 on February 24, 2014.

GENERAL LOCATION:

Parcel # 141-0715-0743-010, 385 Wright Road is located within the Johnson Creek – Menard subdivision.

RECOMMENDATIONS OF OTHER BOARDS AND COMMISSIONS:

N/A

CONSISTENCY WITH ADOPTED COMPREHENSIVE PLAN:

Indoor Commercial Entertainment for a restaurant use is consistent with the Comprehensive Plan in General Industrial zoning for 385 Wright Road.

STAFF ANALYSIS:

Pat Smith is requesting changes to the exterior of the building from the site plan approved by the Plan Commission and Village Board in February of 2014. The name of the restaurant has been established as Mid Point Eatery and Pub.

The building material changes have not been specifically identified to as the quality of the materials. Village code 250-101 permits only high quality construction materials. The Plan Commission should ensure that high quality building materials include the highest weigh per square dimensional shingle and concrete siding be approved in accordance with 250-101. Vinyl siding products are not permitted on commercial applications.

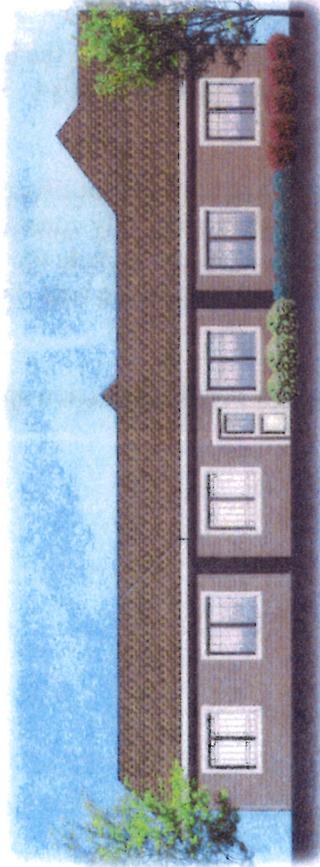
Attached is a revised site plan for Plan Commission approval.



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION (STREET ELEVATION)

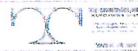


TDL ASSOCIATES, INC.
 ARCHITECTS/ENGINEERS/LANDSCAPE ARCHITECTS
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 PHONE: 303.733.1200
 FAX: 303.733.1201
 WWW.TDLASSOCIATES.COM
 MAY 07 TH, 2014

MID POINT EATERY
 AND PUB



MID POINT EATERY
AND PUB



PROJECT:

Mid-Point Eatery & Pub

385 WHIGHT ROAD
VILLAGE OF JOHNSON CREEK, WI

CONSTRUCTION MANAGER:

T.V. JOHN & SON, INC.

2894 NORTH 124TH STREET
BUTLER, WI 53007
PHONE: 262.234.3024

ARCHITECT:



TDI ASSOCIATES, INC.

ARCHITECTS PLANNERS
147 ZEPHYRUS DRIVE
BENSALEM, WI 53511

FOUNDATION NOTES

1. ALL FOUNDATION ELEMENTS SHALL BE CONCRETE ON A MINIMUM 4" THICK SAND FILL OR OTHER APPROVED FILL.
2. ALL FOUNDATION ELEMENTS SHALL BE FINISHED WITH A MINIMUM 1" THICK CONCRETE SLAB ON TOP.
3. ALL FOUNDATION ELEMENTS SHALL BE FINISHED WITH A MINIMUM 1" THICK CONCRETE SLAB ON TOP.
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9. ALL FOUNDATION ELEMENTS SHALL BE FINISHED WITH A MINIMUM 1" THICK CONCRETE SLAB ON TOP.
10. ALL FOUNDATION ELEMENTS SHALL BE FINISHED WITH A MINIMUM 1" THICK CONCRETE SLAB ON TOP.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



NO.	DESCRIPTION	DATE	BY	CHKD.
1	Site Plan	10/15/10	J. Smith	M. Jones
2	Site Grading Plan	10/15/10	J. Smith	M. Jones
3	Site Driveway Plan	10/15/10	J. Smith	M. Jones
4	Site Parking Plan	10/15/10	J. Smith	M. Jones
5	Site Landscaping Plan	10/15/10	J. Smith	M. Jones
6	Foundation Plan	10/15/10	J. Smith	M. Jones
7	Floor Plan	10/15/10	J. Smith	M. Jones
8	Roof Plan	10/15/10	J. Smith	M. Jones
9	Interior Elevations	10/15/10	J. Smith	M. Jones
10	Exterior Elevations	10/15/10	J. Smith	M. Jones
11	Section	10/15/10	J. Smith	M. Jones
12	Overall Roof Plan	10/15/10	J. Smith	M. Jones

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- 101 Site Plan
- 102 Site Grading, Design Loads & Erosion Control
- 103 Site Driveway Plan
- 104 Site Parking Plan
- 105 Site Landscaping Plan
- 106 Foundation Plan
- 107 Floor Plan
- 108 Roof Plan
- 109 Interior Elevations
- 110 Exterior Elevations
- 111 Section
- 112 Overall Roof Plan

TDI ASSOCIATES, INC.
ARCHITECTS PLANNERS
147 ZEPHYRUS DRIVE
BENSALEM, WI 53511

**MID POINT EATERY AND PUB
FOR FINAL BIDDING**

385 WHIGHT ROAD
VILLAGE OF JOHNSON CREEK, WISCONSIN

TDI ASSOCIATES, INC.
ARCHITECTS PLANNERS
147 ZEPHYRUS DRIVE
BENSALEM, WI 53511

TITLE SHEET

Date: 10/15/10
Scale: 1/8" = 1'-0"
Drawn By: J. Smith
Check By: M. Jones

TI.0



TDI ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS

**MID POINT ENTRY AND PUB
FOR FINAL BIDDING**

388 WRIGHT ROAD
VILLAGE OF JOHNSON CREEK, WISCONSIN

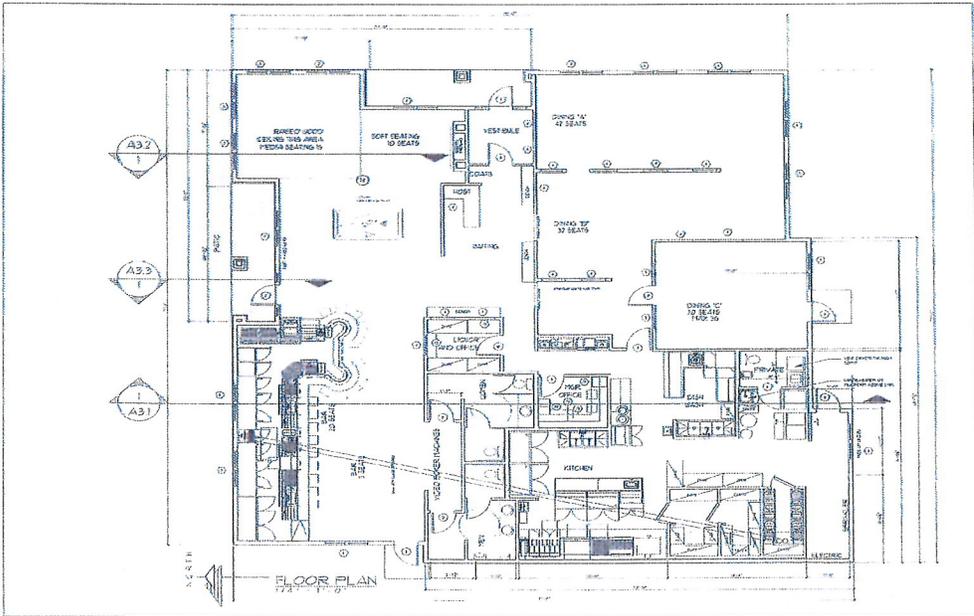
TDI ASSOCIATES, INC.
4475 Ridge Road
Suite 200 of 20000
Madison, WI 53718
Tel: 608.261.1111
Fax: 608.261.1112
www.tdiassociates.com

Sheet Title
ELEVATIONS

Drawn For: _____ Date: _____
 Made For: _____ Date: _____

Scale: _____
 Job No: 13058-002
 Drawn By: _____
 Sheet No: _____

A2.1



TDI ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS

**MID POINT ENTRY AND PUB
FOR FINAL BIDDING**

388 WRIGHT ROAD
VILLAGE OF JOHNSON CREEK, WISCONSIN

TDI ASSOCIATES, INC.
4475 Ridge Road
Suite 200 of 20000
Madison, WI 53718
Tel: 608.261.1111
Fax: 608.261.1112
www.tdiassociates.com

Sheet Title
FIRST FLOOR PLAN

Drawn For: _____ Date: _____
 Made For: _____ Date: _____

Scale: _____
 Job No: 13058-002
 Drawn By: _____
 Sheet No: _____

A1.1

AGENDA ITEM – PC2014-0515-03

ROUTING:

Village Board 5-19-14

BACKGROUND INFORMATION:

The Plan Commission and Village Board approved a site plan for DuClos Properties, LLC for the development of building to house a motor sports business at 400 N. Watertown Street in April of 2013.

GENERAL LOCATION:

Parcel # 141-0715-0731-000, 400 N. Watertown is located south of Interstate 94 next to the park and ride.

RECOMMENDATIONS OF OTHER BOARDS AND COMMISSIONS:

N/A

CONSISTENCY WITH ADOPTED COMPREHENSIVE PLAN:

Indoor Sales and Service is a permitted use within Planned Business zoning and consistent with the Village Comprehensive Plan.

STAFF ANALYSIS:

In addition to the approved site plan the Village entered into a development agreement with Mike DuClos and DuClos Properties, LLC for the development of the site. As a condition of constructing the building, Mike DuClos requested consideration of additional wall signage and monument signage in excess of the permitted height of six feet. These signage changes were approved by the Village Board within the development agreement as follows:

Section V. Signage

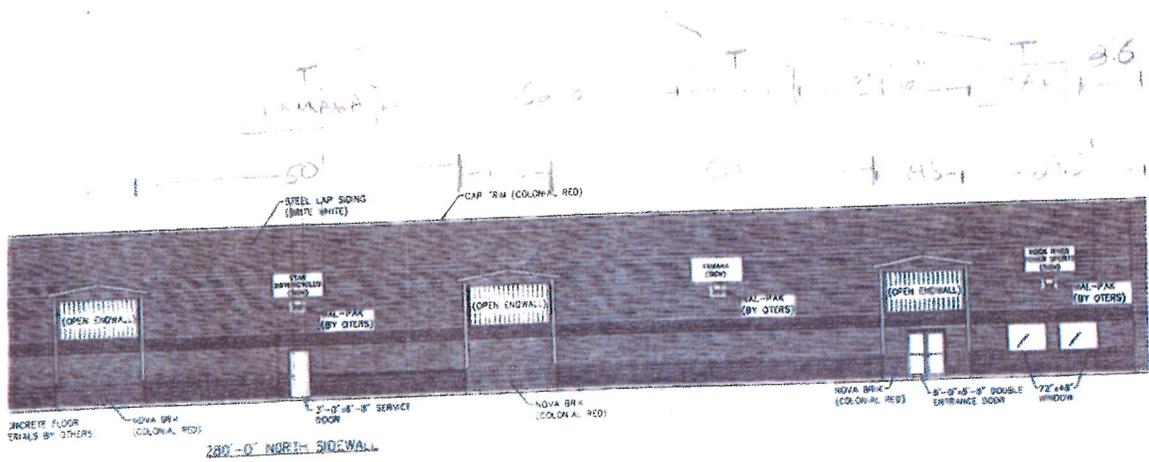
The developer shall comply with Village Code 250-111 Signs excepting that one (1) on-premise monument sign not to exceed twelve (12) feet in height with a maximum sign area not to exceed two-hundred (200) square feet shall be permitted on the north side of the lot and one (1) on-premise monument sign not to exceed six (6) feet in height and less than fifty (50) square feet total at the entrance on the south side of the lot. Also, excepting wall sign(s) not to exceed two-hundred (200) square feet subject to all other signs not exceeding fifty (50) square feet for a total of two hundred, fifty (250) square feet of combined wall sign(s) and all other signs.

Mike DuClos, is requesting an amendment to the site plan for approved signage as follows:

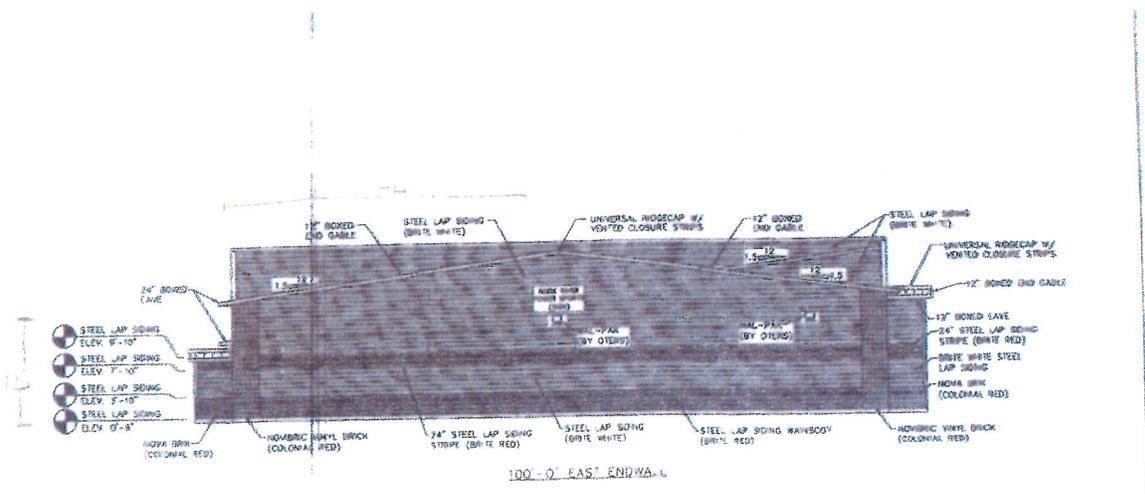
The developer shall comply with Village Code 250-111 Signs excepting that one (1) on-premise monument sign not to exceed twelve (12) feet in height with a maximum sign area not to exceed one hundred (100) square feet shall be permitted on the south side of the entrance at the location depicted on the revised site plan. Also excepting six wall signs, with two (2) wall signs not to exceed ninety (90)

square feet on the west side of the building and three (3) wall signs not to exceed one hundred thirty five (135) square feet on the north side of the building and one (1) wall sign not to exceed fifty (50) square feet on the east side of the building as depicted within the revised site plan. In addition, up to four (4) directional signs of less than nine (9) square feet for each sign may be placed in accordance with Village Code 250-111.

Attached is a revised site plan for Plan Commission approval.



Also include a cut down in the region of the service door



Rock River - REVISED 5/2014

Wall Sign - EAST WALL

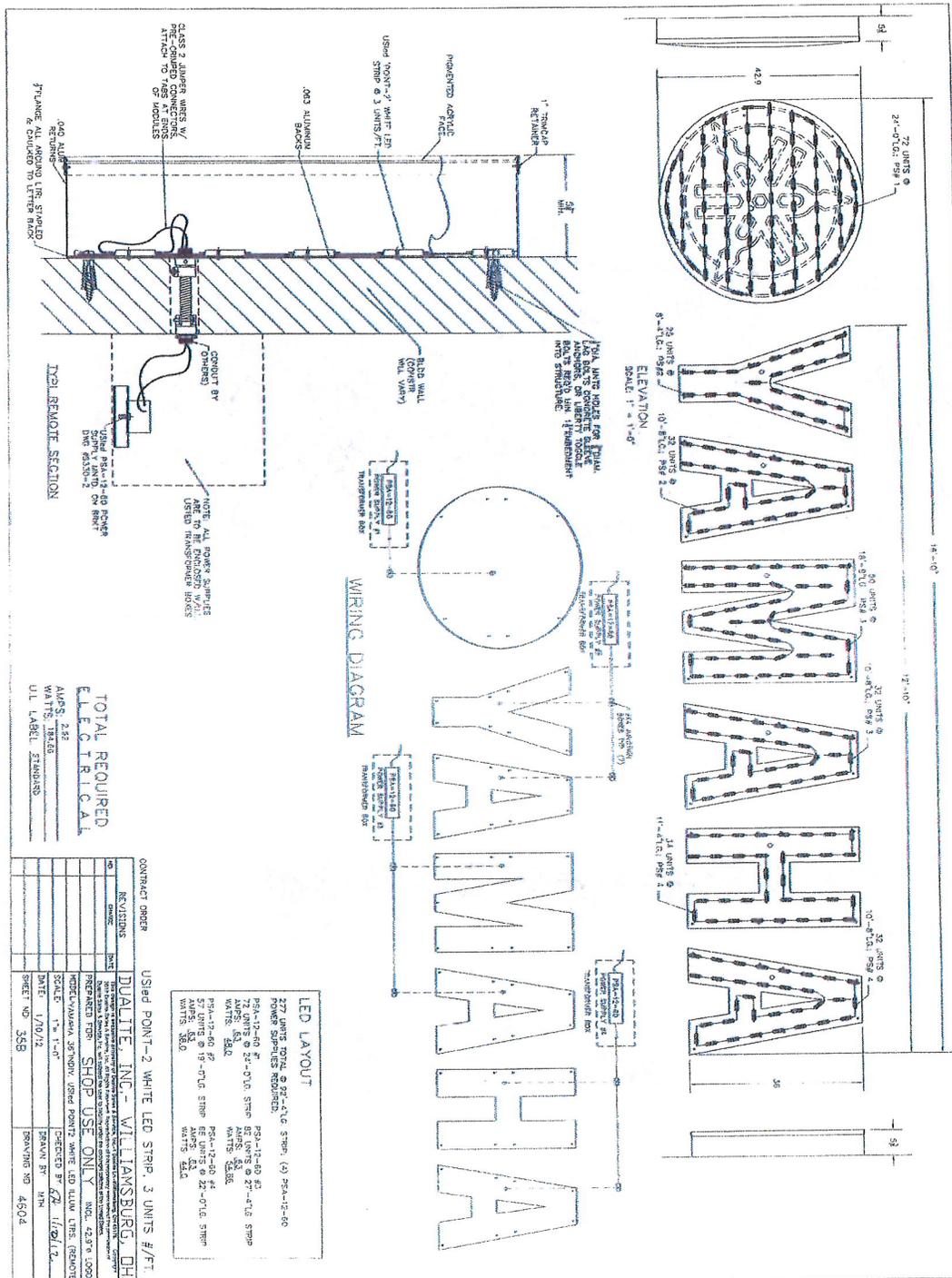
12' Wide x 4' High



10" Deep

Rock River Revised 5/2014

600 sq ft wall sign West/North Wall



Rock River - Revised 5/2014

TOTAL REQUIRED ELECTRICAL
 AMP: 2.52
 WATTS: 16.68
 U/L LABEL STANDARD

CONTRACT ORDER

DUALITE, INC. - WILLIAMSBURG, OH

USED POINT-2 WHITE LED STRIP, 3 UNITS #/FT

NO.	REVISIONS	DATE	BY	DESCRIPTION
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

APPROVED FOR SHOP USE ONLY

DATE: 1/10/12

DESIGNED BY: JN

DRAWN BY: JN

ISSUING NO: 4504

SHEET NO: 345

LED LAYOUT

277 UNITS TOTAL @ 22'-0" LED STRIP, (3) PWA-12-60

POWER SUPPLIES REQUIRED:

ITEM	QUANTITY	WATTS	WATTS @ 120V
PWA-12-60 #1	277	16.68	1.39
PWA-12-60 #2	277	16.68	1.39
PWA-12-60 #3	277	16.68	1.39
TOTAL	831	50.04	4.17

EAST WALL

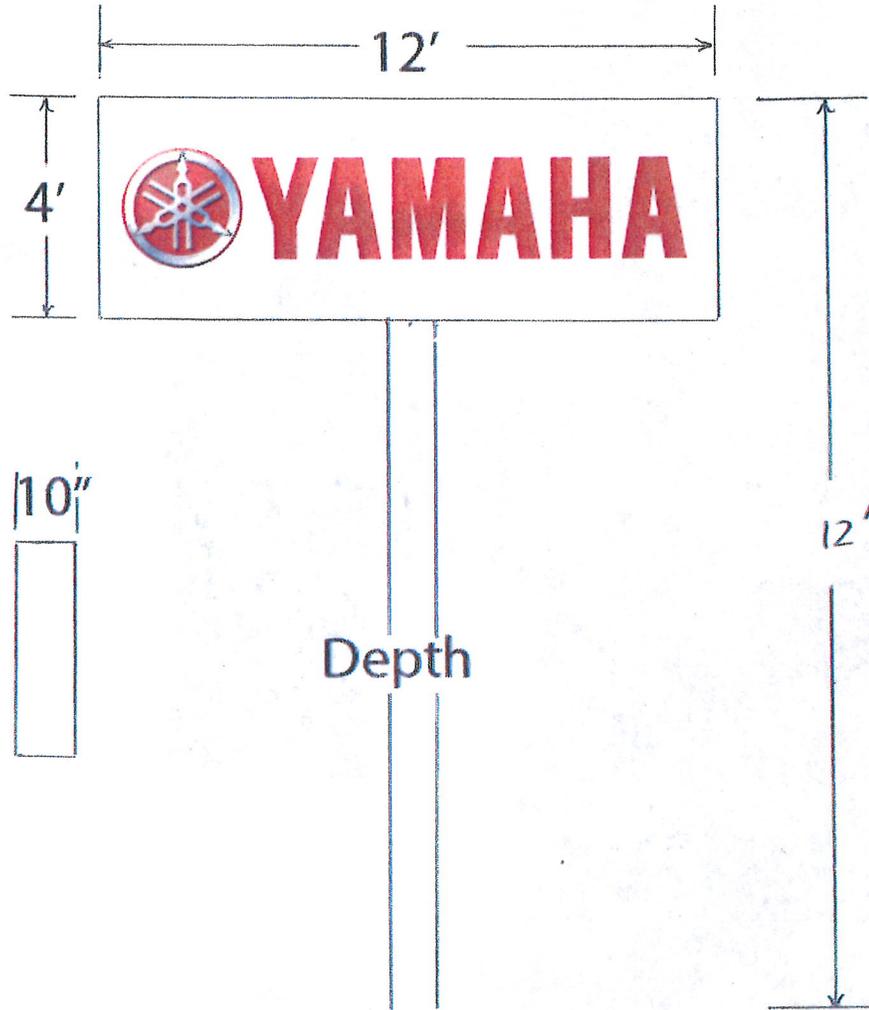


NORTH WALL



Rock River - REVISED 5/2014

TWO-SIDED - 96 sq ft.
Monument Sign - SOUTH OF ENTRANCE



Rock River Revised 5/2014

file:///C:/Users/villageadmin.JCVILLAGE/AppData/Local/Microsoft/Windows/Temporary... 5/1/2014



Example - Jefferson, WI
12/2013